



Pre Purchase Inspections

Mobile: 021 7289 25

Work: 0800 33 7373

www.dependable.co.nz

ryan@dependable.co.nz



PROPERTY ADDRESS

West Auckland

0612

Auckland

Pre-purchase Visual

Weather-tightness

Report

Recently



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PUBLICATION AND USE

Neither the whole nor any part of this Report or any other report (whether verbal or written) or any reference to this Report or any such other report may be: included in any published document, circular or statement, whether hardcopy or electronic; transferred to any person other than the Customer; or distributed or sold, in each case without first obtaining the written approval of the Company.

The Report is not to be used in any litigation except with the prior written approval of the Company

If this report is a building condition assessment it is prepared for the vendor only and we recommend you get your own building report as these reports are not transferable to any other named party

The building condition assessment is prepared for the vendor to show prospective buyers what condition the dwelling is in at the time of the inspection.



INSPECTION DETAILS

Inspection time and date	Recently
Client's name	Great client
Property address	West Auckland, 0612, Auckland
Agent present	Yes
Buyer present	No
Number of storeys	1
Weather at time of inspection	Fine
Recent weather conditions	Fine
Approximate age of house	2000's
Bedrooms	4
Cladding	Brick veneer - Plaster over fibre cement sheet
Roof	Concrete tile
Interior status	Furnished
Direction of front door	West

DISCLAIMER NOTE



MUST READ

NOTE: Any reported cracking to the interior walls in this report should be referred to a Structural Engineer for further evaluation if the client is concerned .

The condition of the walls behind the wall coverings, paneling and furnishings cannot be inspected or reported on. Only the general condition of visible portions of floors is included in this inspection.

Water leaks at windows and other areas including penetrations are difficult to detect when it is not raining or not much condensation. Consult with the vendor as to any existing leaks that may be present. Check with owners for further information as well as your real estate representative

Where fitted, Wood burning and other forms of fireboxes are outside the scope of this inspection. We recommend you have these tested prior to purchase for peace of mind.

Fully furnished interior would limit access for visual inspection. The inspector is not allowed to move or damage any of the stored items or furnishings in the interior space unless it is accepted by the owner who owns the belongings. Any areas that are not sightable may contain damages or defects will be outside the scope of this inspection.



PLUMBING SERVICES

Due to construction methods, a large portion of plumbing services are usually concealed within the building envelope. Only the visual portions of any plumbing were observed during the inspection with careful assessment undertaken to identify any leaks that may be present. It cannot be assumed that the plumbing and pipes are concealed are in good condition

Our visual inspection is based on an overall level of concern as opposed to a detail account of every minor defect which may or may not affect the overall integrity or function of the water drainage systems

Our inspectors are not qualified plumber or drain layers. We recommend a plumber or drain layer be engaged if further assessment is needed.

Please note the septic tank system, water supply and/or pump are outside the scope of work for this inspection.

MOISTURE TESTING

For non-invasive moisture testing, Dependable House Inspections uses the Trotec T660 material moisture meter, which has a material moisture measurement of up to 40mm. The Trotec T660 material moisture meter is a dielectric moisture meter.

Moisture testing is carried out on all properties and is concentrated mostly around exterior doors and windows, showers/wet areas and other potential risk areas.

Used in the right hands, these tools are very helpful, but they are an indicative tool just like thermal imaging and not to be relied upon as the only reason that moisture may or may not be present.

If it does not rain for some time then moisture testing will likely have no results.

Manufactures readings guidelines below.

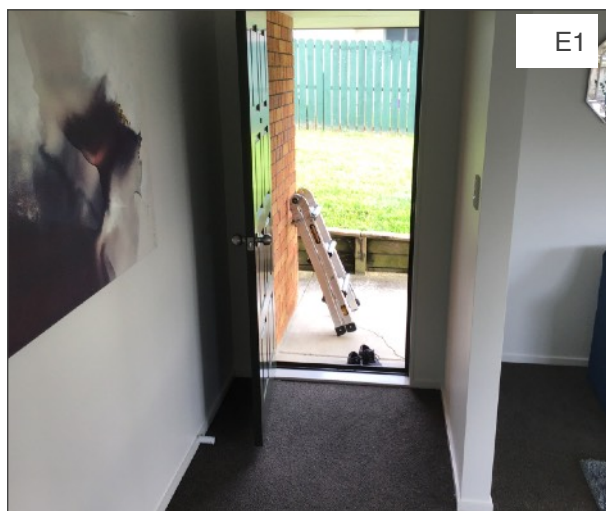
Displays (digits) Building Material Moisture Range 40mm

<40 digits	Dry material
40 digits-80 digits	Damp material
>80 digits	Wet/saturated material



ENTRANCE

Item	Condition	Comment	Photo
Front door	Good	Solid door - Hardware working	
Walls	Good	Plaster board - Painted	
Ceiling	Good	Plaster board - Painted	
Floor covering	Good	Carpet	
Windows- doors	Good	Aluminium joinery	
Moisture reading	N/A	Within the accepted range	



General

No water ingress issues found at time of inspection
General condition is good for the age of the dwelling

Any additional comments	Action required
	N/A

KITCHEN

Item	Condition	Comment	Photo
Oven	Good	Working	K1
Walls	Good	Plaster board - Painted	
Ceiling	Good	Plaster board - Painted	
Floor covering	Good	Vinyl	
Windows- doors	Good	Aluminium joinery	
Cabinetry	Wear and tear	Composite - MDF - Melamine	K2
Bench top	Wear and tear	Laminate	
Cook top	Good	Free standing	K3
Waste disposal	N/A	Not fitted	
Range hood	Good	Working	K4
Ventilation	N/A	N/A	
Moisture reading	N/A	Within the accepted range	



Oven

Oven is fitted and functional, but not fully tested



Cabinetry

Wear and tear to cupboards and cabinetry is consistent for age of home



K3

Cook top

Cook top is fitted and appears functional, but not fully tested



K4

Range hood

Range hood is ducted through the soffit and working



K5

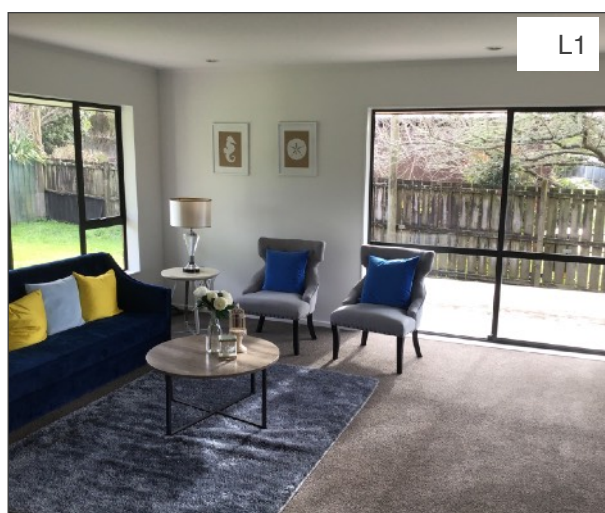
Bench top

Damage to the surface of the bench top noted to the right of the sink

Any additional comments	Action required
	N/A

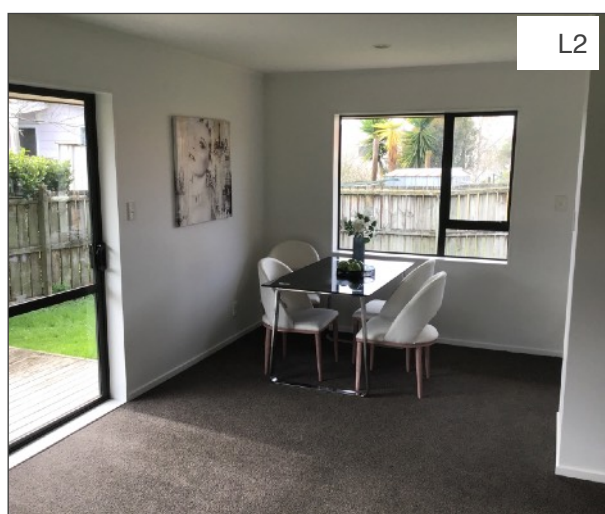
LIVING ROOMS

Item	Condition	Comment	Photo
Doors	Good	Hollow core - Painted - Hardware working	
Walls	Good	Plaster board - Painted	
Ceiling	Good	Plaster board - Painted	
Floor covering	Good	Carpet	
Windows-doors	Good	Aluminium joinery	
Ventilation	N/A	N/A	
Air-conditioning	N/A	N/A	
Moisture reading	N/A	Within the accepted range	



General

No water ingress issues found at time of inspection
General condition is good for the age of the dwelling



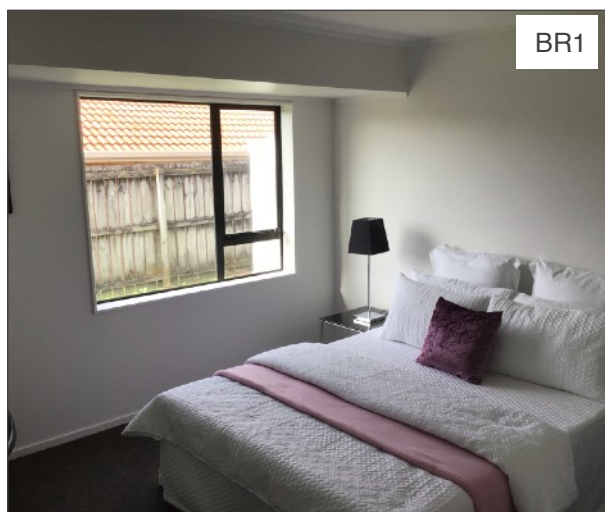
General

No water ingress issues found at time of inspection
General condition is good for the age of the dwelling

Any additional comments	Action required
	N/A

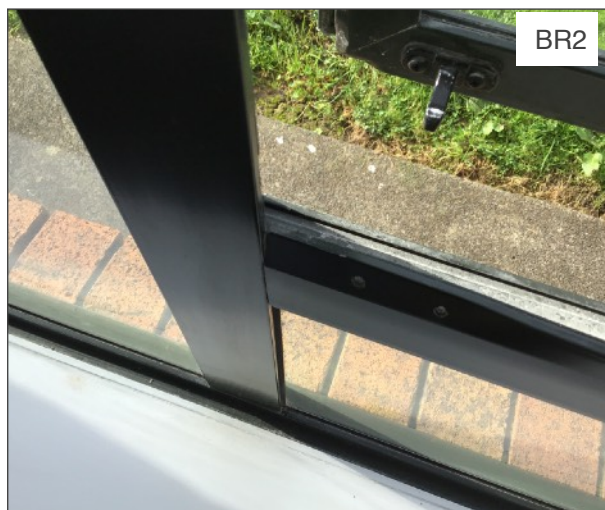
BEDROOMS

Item	Condition	Comment	Photo
Doors	Good	Hollow core - Painted - Hardware working	
Walls	Good	Plaster board - Painted	
Ceiling	Good	Plaster board - Painted	
Floor covering	Good	Carpet	
Windows-doors	Good	Aluminium joinery	
Wardrobe	Good	Hollow core - Painted - Hardware working	
Fan	N/A	N/A	
Air-conditioning	N/A	N/A	
Ventilation	N/A	N/A	
Moisture reading	N/A	Within the accepted range	



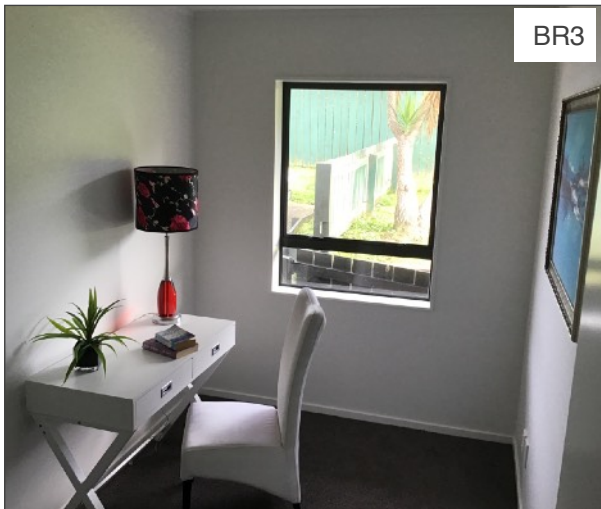
General

No water ingress issues found at time of inspection
General condition is good for the age of the dwelling



General

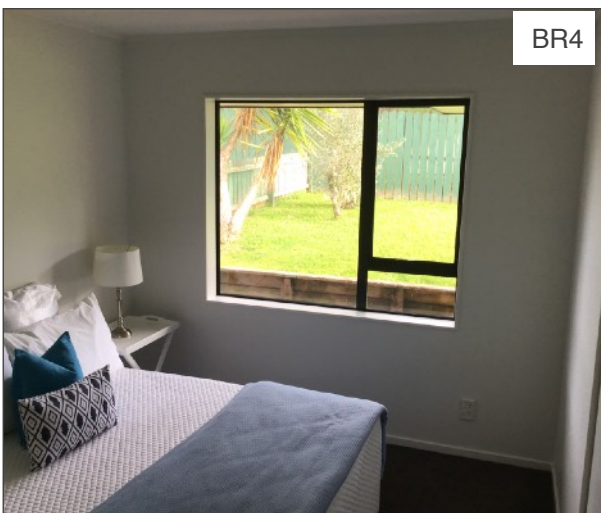
Historic damage found on this joinery that does not affect performance



BR3

General

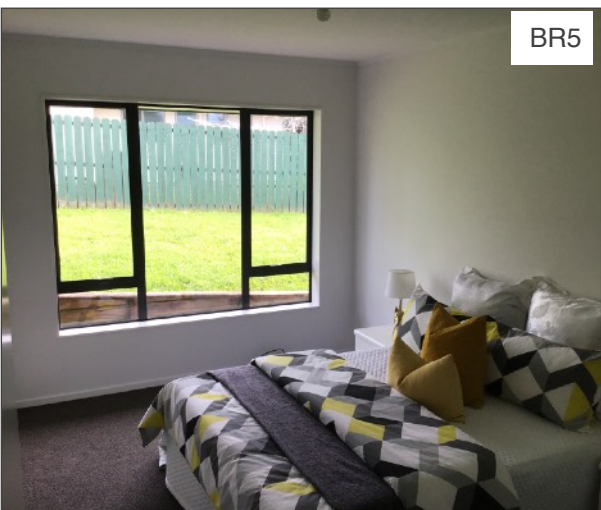
No water ingress issues found at time of inspection
General condition is good for the age of the dwelling



BR4

General

No water ingress issues found at time of inspection
General condition is good for the age of the dwelling



BR5

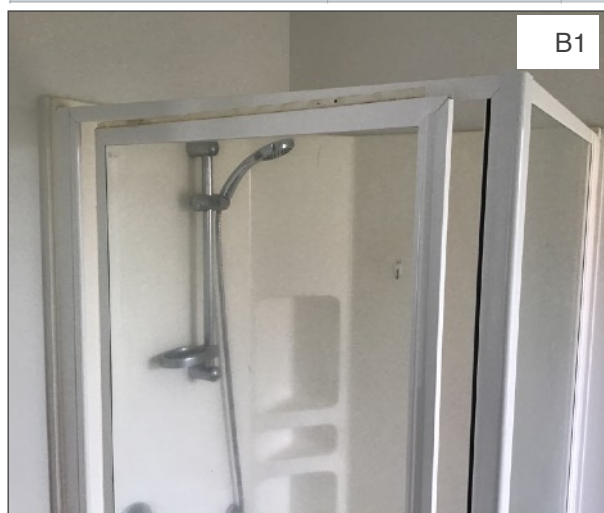
General

No water ingress issues found at time of inspection
General condition is good for the age of the dwelling

Any additional comments	Action required
	N/A

BATHROOMS

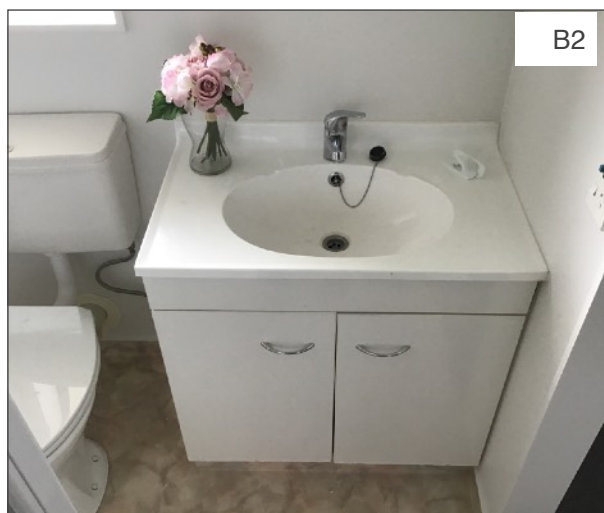
Item	Condition	Comment	Photo
Doors	Good	Hollow core - Painted - Hardware working	
Walls	Good	Plaster board - Painted	
Ceiling	Good	Plaster board - Painted	
Floor covering	Good	Vinyl	
Shower	Minor repair	Acrylic tray with liner	B1
Windows-doors	Good	Aluminium joinery	
Vanity	Good	Free standing	B2
Ventilation	Good	Extractor fan fitted and working	
Toilet	Good	Floor mounted	B3
Bath	Good	Box mounted - No leaks at time of inspection	B4
Heated towel rail	Good	Wall mounted	
Moisture reading	N/A	Within the accepted range	



B1

Shower

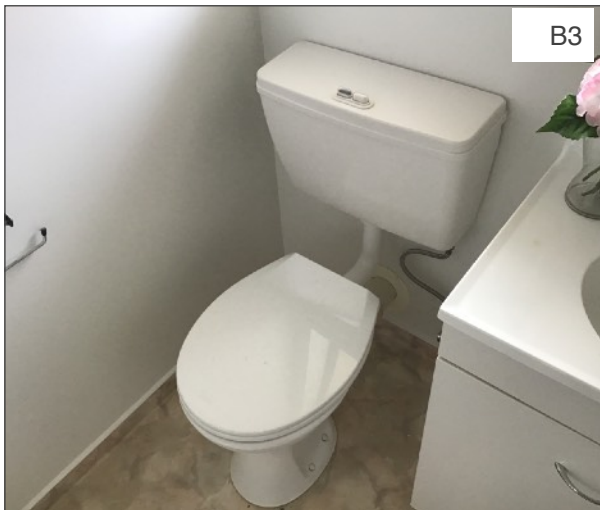
The shower door has been installed upside down. The seal that should be at the bottom of the door can be seen at the top



B2

Vanity

No water ingress issues found in and around the vanity unit



Toilet

Dual flush toilet in working order



Bath

Bath is in good condition for its age



Shower

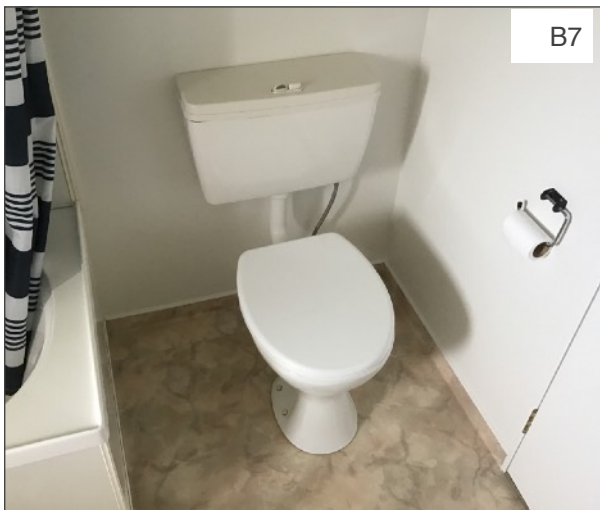
The shower liners have started to deteriorate and will need to be replaced soon



B6

Vanity

No water ingress issues found in and around the vanity unit



B7

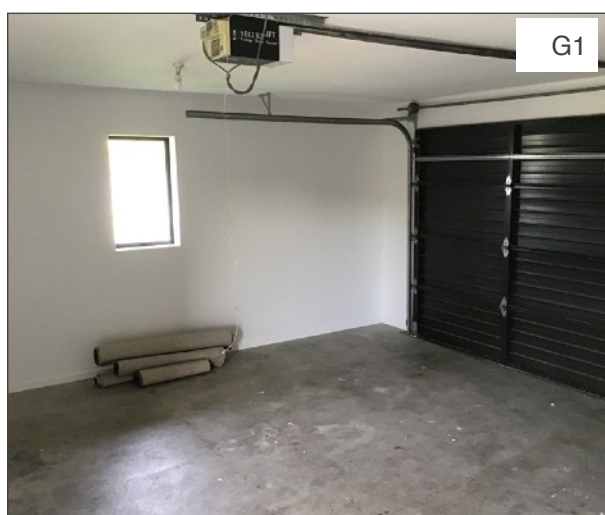
Toilet

Dual flush toilet in working order

Any additional comments	Action required
	N/A

GARAGE

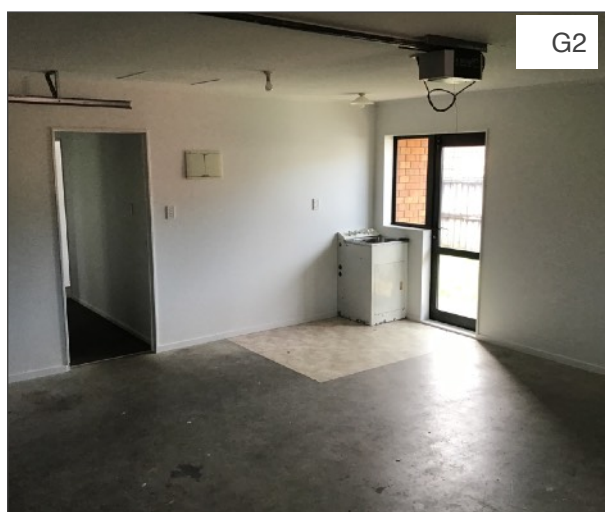
Item	Condition	Comment	Photo
Doors	Good	Hollow core - Painted - Hardware working	
Walls	Good	Plaster board - Painted	
Ceiling	Good	Plaster board - Painted	
Floor covering	N/A	N/A	
Windows-doors	Good	Aluminium joinery	
Garage door	Minor repair	Sectional door - Not working at time of inspection	
Moisture reading	N/A	Within the accepted range	



General

No water ingress issues found at time of inspection
General condition is good for the age of the dwelling

The estate agent confirmed the garage door has been booked for repairs



General

No water ingress issues found at time of inspection
General condition is good for the age of the dwelling

Any additional comments	Action required
	N/A

EXT. CLADDING & JOINERY

Item	Condition	Comment	Photo
Cladding style	Good	Brick veneer - Plaster over fibre cement sheet	
Surface coating	Reasonable	Reasonable condition	
Cladding to wall junctions	Good	No issues found	
Ground to cladding height	Good	Good clearance - keep gardens away from the cladding	
Window -door type	Good	Aluminium - Single glazed	
Window head flashing	N/A	Not required due to the type of construction	
Drainage holes windows	Good	Fitted	
Cavity system	N/A	Cavity system fitted on brick veneer only	
Moisture reading	N/A	Within the accepted range	



Cladding profile 1

Cladding profile appears well installed and adequately maintained with no major issues



Cladding profile 2

Cladding profile appears well installed and adequately maintained with no major issues



Ground to cladding height

Performance based - Good height



Joinery doors and windows style and remedial repairs

If the dwelling was built before 2004, the joinery junctions rely on silicone for a watertight seal. It is important to monitor these areas and repair any water ingress issues that penetrate the wall space to prevent rot and/or decay in the timber framing.



Cladding - Remedial repairs and maintenance

The plaster cladding needs to be painted to keep the cladding sealed and prevent moisture causing damage to the wall framing.



North Elevation

Brick veneer to this elevation



East Elevation

Brick veneer to this elevation



South Elevation

Brick veneer to this elevation



West Elevation

Brick veneer and plastered fibre cement sheet to this elevation

Any additional comments	Action required
	Maintenance

IMPORTANT NOTES:

- Preventive maintenance is required to help protect all construction types against future water penetrations, rot and decay.
After 2004 most dwellings are built with a cavity drainage management system designed to remove any unwanted water penetration issues.
- Ground to the underside of the wall cladding is required to have a minimum clearance.
If there is insufficient clearance between the ground and cladding system there is an increased risk of wicking or capillary action of water or moisture and can cause damage to the timber framing over time.

IMPORTANT NOTE: LIMITATIONS OF EXTERIOR INSPECTION

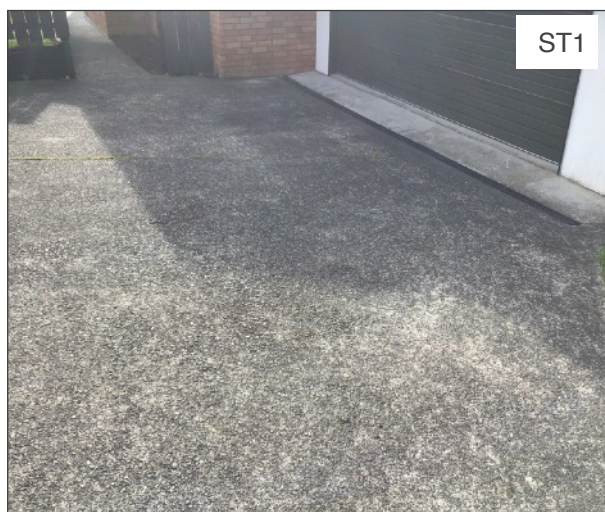
- Any cladding defects stated hereafter may have caused or will potentially result with external moisture ingress into the structural framing and may have already caused structure damages. The true condition of the timber framing can only be revealed following invasive or destructive investigations which are beyond the scope of works for this inspection. Past cladding defects and resulting structure damages may be hidden and covered by repair works which are often unknown and impossible to be discovered by the inspector onsite.
- Inspectors are often asked to provide solutions for listed building exterior defects. While solutions are relatively straight forward for some isolated defects such as impact damages for cladding surface, decayed mouldings, failed coating systems etc, it is almost impossible to provide any sensible solution for some complex and systematic exterior defects during pre-purchase non-invasive visual inspection stage.

IMPORTANT NOTE - WINDOWS

- Any windows not protected by eaves or an overhang are vulnerable to leaks during extreme weather. Monitor on regular basis. Inspect all windows each year as part of a maintenance plan.

SITE

Item	Condition	Comment	Photo
Slope	Good	Gentle slope	
Paths/Driveway	Good	Concrete	
Fencing	Good	Timber	
Surface water	Good	No excess water was observed at time of inspection	
Gates	Minor repair	Remedial repairs needed	
Pergola	N/A	N/A	
Retaining wall	Reasonable	Timber	



Driveway style and remedial repairs

Driveway is in good condition for its age



Fencing style

Normal movement found from the age of the fences



ST3

Retaining wall

Some rot showing on the top board



ST4

Fencing style

This gate is difficult to open. Repairs are required

Any additional comments	Action required
	Minor repair

ROOF

Item	Condition	Comment	Photo
Access	N/A	Access was limited due to health and safety. The inspection was carried out from a ladder only	
Materials	Good	Concrete tile	R1
Slope	Good	Roof materials correct for pitch of roof profile	R2
Fixings	Good	No issues found	
Penetrations	Good	Appears to be sealed	R3
Coating & Surface	Reasonable	Roof appears to be performing well - Reasonable condition for age	
Eaves-Soffits	Good	Good size soffits for increased weather protection	R4
Barge boards, Fascia	Good	Metal profile - No rust found	
Gutters	Good	Metal gutter	R5
Down pipes	Good	All downpipes are fitted	
Valley	Good	Valley tray - Good condition	R6
Hip & Ridges	Good	Good condition	R7



Roof profile and remedial work

Roofing profile appears to be performing well for the age of the roof

A roof is the first line of defence for a structure, acting like a huge umbrella to deflect water away from the interior of the dwelling



R2

Roof profile and remedial work

Roofing profile appears to be performing well for the age of the roof

A roof is the first line of defence for a structure, acting like a huge umbrella to deflect water away from the interior of the dwelling



R3

Roof penetrations

Penetrations appear to be all sealed at time of inspection

These penetrations must be checked every year as an ongoing maintenance schedule



R4

Eaves-Soffits

The wider the soffits are the less risk of water ingress issues on the window junctions and penetrations.

Soffits are the most common and easy way to protect your cladding and achieve air circulation to keep your building in good condition



R5

Internal gutters and external gutters

Gutters appear to be performing well at time of inspection

All gutters should be cleaned out twice a year to prevent long term rust or overflowing of the gutter system in to the roof or wall space



R6

Roof valley

Valley tray appears to be performing well with no visible rust seen



R7

Hip & Ridges

This hip tile on the north west corner has slipped down. A roofing contractor is required to repair to ensure the dwelling remains water tight



R8

Fascia gutter

Cosmetic damage to the fascia and gutter noted here

Any additional comments	Action required
	N/A

NOTE:ROOF CLADDING DISCLAIMER

1. Leaks in guttering and downpipes can at times only be visible during prolonged rainfall. Many times this situation is not present during the inspection. The gutters should be regularly inspected by you during a period of rainfall to assess for any leaking.
2. Leaks should be rectified as they have potential to cause further deterioration of the dwelling. Blocked gutters should be cleaned regularly as this can cause blocking of downpipes, overflowing into the eaves of the home and will also expedite rust in the gutters and downpipes.
3. The above is an opinion of the general quality and condition of the installed material.
4. The inspector cannot and does not offer an opinion or warrant as to whether the roof leaks or may be subject to future leakage. The report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times this situation is not present during the inspection.
5. We offer no guarantee that the roof cladding or roof components e.g. flashing will not leak in the future

ROOF SPACE

Item	Condition	Comment	Photo
Access	Good	Good access	
Construction	Good	Timber roof framing appears adequately constructed with no noticeable defects observed	
Dampness	Good	No	
Insulation	Good	Insulation was present on inspection	
Insect & Pest	Good	None seen at time of inspection	
Rotting timbers	Good	None seen at time of inspection	
Roof barrier paper	Acceptable	No roof barrier paper fitted	
Timber treatment	Good	Treated to H1.2	
Rental insulation	N/A	Insulation would not comply with new rental standards	



Roof space

Roof framing appears adequately constructed with no noticeable defects observed

Any additional comments	Action required
	N/A

DECKS & BALCONY

Item	Condition	Comment	Photo
Floor finishing	Reasonable	Open timber slat	
Floor clearance	Reasonable	Minimal clearance	
Cladding to deck height	Reasonable	Performance based	



DS1

Deck or balcony style remedial work

Deck appears to be in reasonable condition -Some rot found - Maintain deck to minimise failures in the future



DS2

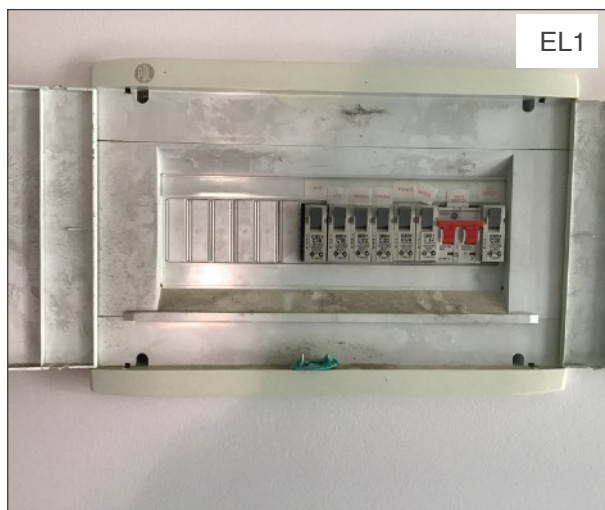
Deck or balcony style remedial work

Deck appears to be in reasonable condition -Some rot found - Maintain deck to minimise failures in the future

Any additional comments	Action required
	N/A

ELECTRICAL

Item	Condition	Comment	Photo
Wiring	Good	TPS - Tough plastic sheathed wiring	
Distribution panel	Good	Trip switches fitted - Cover fitted	
Main panel	Repair required	Plastic window needs installing - Urgent repair	
Smoke detector	Minor repair	Need to be fitted in every sleeping space or 3 meters thereof	



EL1

Distribution panel

Trips switches fitted - All labelled - No issues found

DISCLAIMER - Please note that:the service section is basically describing the condition of the service units during the inspection.**Not operated.**If client notices any faults, damages or leaks please urgently seek help from related trades professional e.g plumber, gas fitter, air-con installer, home ventilation system, pool installation specialist, drain layer etc.



EL2

Main panel

Plastic window is missing and needs to be replaced to keep water out of the power box

Any additional comments	Action required
	Repair required

ELECTRICAL SERVICES

Due to construction methods, a large portion of the electrical system is concealed within the building envelope. Only the visible portions of any electrical fixtures or wiring were observed during this inspection with careful assessment undertaken to identify and obvious defects. No testing or commenting in relation to the function or operation of the wiring, power points or appliances was undertaken. Range hoods are tested.

Although smoke detectors were not a requirement in older dwellings, we strongly recommend that smoke detectors be installed in every sleeping space or within 3 meters thereof. Our inspections assess whether the number of smoke detectors in the dwelling are sufficient regardless of whether they were a requirement or not under the Building Code at the time of construction .

Our visual inspection is based on an overall level of concern as opposed to a detail account of every minor defect which may not affect the overall integrity or function of the electrical system.

Our inspectors are not qualified electricians.

We recommend an electrician be engaged if further assessment is desired.

PLUMBING

Item	Condition	Comment	Photo
Feed pipes	Good	Copper	
Taps & Fittings	Good	All taps working - No leaks	
Waste pipes	Good	No leaks found	
Gulley traps	Good	Lids fitted - Waste flowing	P1
Hot water cylinder	Repair required	Electric - No leaks - Seismic restraints fitted	P2
Laundry tub	Reasonable	Metal	P3
Laundry ducting	Good	Window used for ventilation	
Toilets	Good	No leaks found	
Water toby	Good	No leaks	P4
Plumbing exterior penetrations	Good	All penetrations are sealed	
Water tanks	N/A	N/A	
Septic tanks	N/A	N/A	
Cold water pressure	Good	Good pressure	
Hot water pressure	Good	Good pressure	
Water supply source	N/A	Local supply	



Gully Trap

Lids fitted - Waste flowing



P2

Hot water cylinder

The hot water cylinder is severely damaged and in need of replacement before it fails causing water damage to the dwelling



P3

Laundry Tub

No leaks found under test
Waste pipes clear
Taps all fitted and working



P4

Water toby

No leaks found

Any additional comments	Action required
	Immediate repair

DISCLAIMER



DEPENDABLE HOUSE INSPECTIONS LTD
DISCLAIMER / LIMITATIONS OF THIS REPORT
Terms and Conditions Applicable to Residential Building Inspection Reports

Purpose

The building inspection report ("Report") is prepared by Dependable House Inspections Ltd for the specific purposes of assessing the general condition of the building and identifying defects that are readily apparent at the time of inspection based on the limited visual, non-invasive inspection as further described below in the Scope and Limitations & Exclusions sections.

No responsibility is accepted in the event that the Report is used for any other purpose.

Scope

The Report is based on a limited visual, above ground, non-invasive inspection of the standard systems and components of the building. DHIL does not open up, uncover or dismantle any part of the building as part of the inspection or undertake any internal inspection of the building.

Report Limitations & Exclusions

The Report is a guide only (as per New Zealand Standards) and not a guarantee or warranty as to the state of the building or any product, system or feature in the building.

Areas of the building that the inspector believes to be a potential problem areas for moisture ingress are checked with a non-invasive moisture meter. Rotting of timber framing and/or the presence of toxic moulds however, can only be determined by invasive testing which requires the removal of wall linings. This cannot be done without the written consent of the owner and is outside the scope of the Report. The Report is not a specialist weather tightness report only a visual weather tightness report.

DHIL accepts no responsibility or liability for any omission in its inspection or the Report related to defects or irregularities which are not reasonably visible at the time of the inspection or which relate to components of the building:

- which are below ground or which are concealed or closed in behind finished surfaces (such as plumbing, drainage, heating, framing, ventilation, insulation or wiring);
- which required the moving of anything which impeded access or limited visibility (such as floor coverings, furniture, appliances, personal property, vehicles, vegetation, debris or soil) – DHIL does not move owner/occupier items for the purposes of the inspection;
- to which access is not reasonably and safely available to carry out a visual inspection. This may include roofs, subfloor areas and ceiling cavities and high, constricted or dangerous areas for which inspection is not permitted by Occupational Safety and Health regulations.

In addition, the customer accepts that DHIL will not detect some defects because: the defect may only occur intermittently; the defect has been deliberately concealed; or DHIL has been given incorrect information by the customer or any third party. If you believe that any of these circumstances apply then you should immediately contact DHIL in order to try and resolve.

Any area, system or component of the building or any item, feature or system not specifically identified in the Report as having been inspected was not included in the scope of the inspection.

This includes the condition and location of any special features or services, underground services drainage or of any systems including electrical, plumbing, gas or heating except as otherwise may be described in the Report. On request, specialist inspections can be arranged of weather tightness or structure or of any systems including electrical, plumbing, gas or heating.

Descriptions in the Report of systems or appliances relate to the existence of such systems or appliances only and not the adequacy, efficiency or life expectancy of such systems or appliances.

The Report:

- is not a structural survey, engineer's report, weather tightness inspection or a report on the building's seismic safety. DHIL can assist with arranging such specialist third party inspections upon request;
- does not assess compliance with the requirements of any legislation (including, any act, regulation, code or by-law) unless otherwise stated;
- is not a geotechnical, site or environmental report. DHIL makes no representation as to the existence or absence of any or "hazard" (as defined in the Health and Safety in Employment Act) or any "hazardous substance", "natural hazard" or "contaminant" (as those terms are defined in the Resource Management Act) in the building or property.

Title and Local Authority Records

DHIL has not undertaken any title search and assumes all improvements are within the legal boundaries of the property.

No survey of the property or any search of information held by the territorial authority or any other relevant authority has been undertaken. It is recommended that the customer conducts its own Land Information Memorandum or Council property file search.

Duplex Style Properties

If the property is a Duplex Style Property, the inspection and Report is limited to the actual unit and any accessory unit(s) and does not extend to the remainder of the building or the common areas.

DHIL recommends the customer obtain a copy of the financial statements and minutes from meetings of the Body Corporate to establish the history of the inspected property under such Body Corporate.

Responsibility to Third Parties

Our responsibility in connection with this Report is limited to the customer to whom the Report is addressed and to that customer only. We disclaim all responsibility and will accept no liability to any other party without first obtaining the written consent of DHIL and the author of the Report.

DHIL reserves the right to alter, amend, explain or limit any information given to any other party.

Publication

Neither the whole nor any part of the Report (or any other report provided by DHIL, whether written or verbal) may be published or included in any published document, circular or statement whether in hard copy or electronic form or otherwise disseminated or sold without the prior written approval of DHIL and the inspector.

Claims & Disputes

Should any dispute arise as a result of the inspection or the Report, it must be submitted to DHIL in writing as soon as practically possible but in any case, within ten working days of discovery. The customer agrees that in the event of a dispute, the contents of the Report may not be used to satisfy any terms of a sale and purchase agreement until the disagreement/dispute has been resolved. In the event the customer nevertheless enters into an unconditional agreement for purchase of the subject property or makes an existing agreement unconditional prior to resolution of the dispute, the customer shall be deemed to have waived the customer's rights to continue with and/or make any future claim against DHIL in relation to that matter.

Except in the case of an emergency, the customer further agrees not to disturb, repair, replace or alter anything that may constitute evidence relating to the dispute or claimed discrepancy before DHIL has had an opportunity to re-inspect and investigate the claim. The Customer understands and agrees that any failure to notify DHIL or permit DHIL to re-inspect as stated above shall be deemed to be a waiver of the customer's rights to continue with and/or make any future claim against DHIL in relation to that matter.

Limitation of Liability

The customer acknowledges and agrees that the director(s) and employee(s) of DHIL shall not be held liable to the customer.

DHIL shall have no liability to the customer for any indirect or consequential loss of whatever nature suffered by the customer or any other person and the customer hereby indemnifies DHIL in respect of any claims concerning any such loss.

Subject to any statutory provisions, if DHIL becomes liable to the customer for any reason, for any loss, damage, harm or injury in any way connected with the completion of the inspection and/or the Report, DHIL's total liability shall be limited to a sum not exceeding **\$15,000**.

Consumer Guarantees Act

Nothing contained in these terms and conditions shall be deemed to exclude or restrict any rights or remedies that the customer may have under the Consumer Guarantees Act 1993 or otherwise at law.

Partial Invalidity

If any provision in these terms and conditions is illegal, invalid or unenforceable, such provision shall be deemed to be excluded or read down to the extent necessary to make the provision legal, valid or enforceable, and the remaining provisions of these terms and conditions shall not be affected.

"All our building inspections and reports are subject to our standard terms and conditions. This is an important legal document. Please take the time to read it before ordering any inspection or other services. Our standard terms and conditions exclude certain types of liability and limit our total liability to customers in the event of any problems."

FUTURE ISSUES A MUST READ

Due to recent court rulings as to how building and moisture inspections are reported there have been some changes.

The rulings apply to all buildings not compliant with current codes.

This means if a building was compliant at the time of construction but materials, methods of flashing along with the building code has changed since the dwelling was built the building is deemed to comply at the time of construction. Inspectors must report on future potential issues that are likely to adversely affect the buildings future durability in those areas in which the specification has now been upgraded.

This is done regardless if there were no issues found on the day of inspection.

Should future issues occur they are more likely to happen around areas described as a high risk.

Most of these areas are proven to be flashings around windows and doors, internal guttering, eaves, external fittings such as lighting, joins in sheets which crack and parapet capping's.

DHIL advises that if moisture or the building inspection was satisfactory on the day of inspection but the dwelling was built prior to the current building code the following may occur.

Flashings around windows and doors. Current code ensures that if moisture gains access for whatever reason it can get out without damaging the timber. Prior to the current codes, inspections of flashing installation and the installation themselves were varied and sometimes unsatisfactory.

The guarantee therefore that if moisture gets in it can get out cannot be given for houses not currently compliant to the current building code. To minimise this risk it is recommended a yearly maintenance check to ensure there is no increase moisture levels. DHIL past experience tells us that, should moisture levels rise it is in most cases due to the corner mitre join seals to joinery beginning to fail or the seal between the window cladding has broken.

Internal Guttering: If internal guttering becomes blocked and there are insufficient overflows, water can build up quickly and back flow into the soffit which fills up and then may flow into the framing. If there is no soffit it may back flow directly into the frame. It is therefore essential that internal guttering is checked regularly for blockages. Where there is internal guttering and a soffit, a simple fix is to install grills every 2 meters. This allows any back flow that enters the soffit to exit via the grills before it reaches the frame.

Cladding Joins: Any cracks that appear increase the risk of moisture entering the frame. All cracks should be repaired.

Eaves: Eaves provide limited protection to exterior cladding, windows and doors. As the size of the soffit decreases, the risk of moisture entry increases because the water reaches the cladding, windows and doors more often. In addition, if driving rain has forced water under the tiles or parapet flashing, it may enter the frame. In the case of minimal eaves, the best protection is organising a method to prevent wind from forcing rain upwards and ensuring regular maintenance around windows and doors and repairing cracks as they may show.

Parapets: Where a building has parapets, they should be capped. If there is no capping the material used to encase the frame may crack over time and allow moisture to enter the frame. A capping, usually metal, affords good protection. The sides of the capping can lift under high winds allowing water to enter the top. If the top is cracked, the water may then enter the frame. The fix is to regularly cast a visual eye to ensure no lifting of the skirt and if so, arrange for it to be realigned and resealed.

Exterior Lights: The holes through which the cables pass to the external lights should be sealed. Water running down the wall can pool inside the light fitting. When it's sufficiently high it can reach the cable hole and flow into the frame. The fix is to take down the lights, check the holes are sealed then replace. The screws used to fix the lights to the wall should be bound with silicone before replacing the unit.

Glossary of Terms



Bearers - a structural timber element used to sit usually floor framing on

Borer - an insect that feeds on timber

Bottom plate - the lowest part of the wall framing that sits on the floor supporting the rest of the wall framing above

Box mounted - enclosed frame around a bath

Brick veneer - construction consists of an outer skin or veneer of brick that is installed in front of, but separated from, standard timber framing

Building wrap -A synthetic or bituminous coated paper used to help protect timber framing

Cavity - a separation of the wall framing and cladding to create an air space

Concrete reinforced masonry - concrete block with reinforcing steel filled with concrete

Direct fix - the framing has building wrap applied and the cladding is fixed directly to this

Down pipe - attached to the spouting to direct water into the drain

Efflorescence - a build up of salt deposits caused when moisture reaches the face of masonry

EIFS - Externally Insulated Finished System is made up of polystyrene sheet with a plaster system applied to the face. The system can be installed directly to the wall framing over the building paper or a cavity fitted prior to install.

Elevated readings - moisture readings above what is considered as acceptable

Engineered flooring - a flooring system made up of a finished face, often using timber veneer or vinyl applied to a backing board. This can be fixed to the floor or installed as a floating system.

Engineered stone - Engineered stone is a composite material made of crushed stone bound together by an adhesive. This can include engineered quartz, polymer concrete and engineered marble stone.

Fascia - a flat piece of material that is fixed to the end of the roof rafters. The spouting is then fixed to this

Foil paper - a reflective aluminium sheet used to insulate sub-floor space. Holes are in the sheet to allow air flow and prevent moisture being trapped

Free standing - refers to a vanity that sits on the floor

Gully trap - a gully trap is a basin in the ground that receives piped wastewater from your house before it enters the underground sewer (wastewater pipe). The basin has a water seal to prevent odours reaching the surface.

Granite - a naturally occurring stone commonly used to make bench tops

Head flashing - a shaped material placed over the top of a window/door to direct water away from the window

Hollow core door - made up of two "skins" of wood product with a spacer between fixed to a timber frame

Joists - the structural elements the flooring is attached to

Laminate - a thin finished surface material is glued to a backing to form the finished product

Lintel - the timber member that spans over the top of the window opening

Masonry - a mixture of aggregate, cement and water

MDF - medium density fibre board is made by compressing wood fibres with glue and wax under high temperature

Melamine - a type of plastic applied to a sheet (MDF or particle board) to give a durable surface often used in kitchen cabinets

Particle board - or low density fibre board has wood chips glued together under pressure to form a sheet

Piles - a post or pole cast in the ground to support a structure

Pre finished liners - a durable finish applied to a backing board suitable to be used in wet areas

Rafters - a structural timber member that makes up the roof

Roof space - the air space between the roof cladding and the ceiling lining

Scriber - a small timber trim cut to fit neatly around cladding and fixed to the sides of windows. The scriber prevents water getting in behind the window. They can also be fitted at junctions of two different claddings

Seismic restraints - Steel straps used to secure a hot water cylinder

Soffit - the overhang formed from the roof

Solid plaster - made of sand and cement and applied with a mesh reinforcing inside. This can be applied over a rigid backing or heavy weight building paper

Spouting - used to catch the rain water off the roof it can be made of colour steel, plastic and copper

Sub-floor - the air space under the timber floor structure

Tongue and groove - a method of joining similar size material edge to edge. Often used in timber flooring

Wall hung - refers to a vanity suspended from the wall clear of the floor

SUMMARY



The purpose of this inspection is to identify major defects and safety hazards associated with the property at the time of inspection.

The inspection and reporting is limited to a visual assessment and knowledge of the building construction along with the use of meters to indicate if further investigation is needed..

The inspection is compared with similar constructed dwellings of approximately the same age where those buildings have had a maintenance programme implemented to ensure that the building members are still fit for purpose.

THE OVERALL CONDITION OF THIS RESIDENTIAL DWELLING:

Roof condition and performance

The roof is in reasonable condition and performing well

Cladding system - Cavity or no cavity

Partial Cavity

Windows junction condition and risks

Sealed well - Low risk

Penetration sealed or not sealed

Sealed well - Check yearly

Ground to cladding risks high or low

Low - Keep gardens clear from cladding

Moisture levels high or low

No elevated readings found

Risk factors high or low

Risk factor LOW

All dwellings must have yearly maintenance and a moisture checks to make sure the dwelling is performing well to reduce the risk of future water penetrations which can cause long term rot or decay overtime

This building inspection report is for the day of inspection and based on the circumstances of the time of inspection. Prior to settlement (paying settlement funds) it is important to check the following:

- Has the vendor/tenant moved out of the property?
- Has the vendor left the chattels (e.g. oven, stove, dishwasher, alarm) as shown on the chattels list of the Sale and Purchase Agreement and are they working?
- Are there any damages to the interior or exterior of the house? (This includes water ingress issues in the wet areas).
- Are all the lights in working order?

Signature: 	Date: Recently
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